

EXHIBIT

F

**HOLIDAY VILLAGE EAST
COMMUNITY SERVICES ASSOCIATION
ARCHITECTURAL GUIDELINES**

EXHIBIT `F`

The purpose of these guidelines is to preserve and protect the original aesthetic character and environment of the community. To accomplish this, all exterior additions, modifications or alterations shall conform in style, color and material to the original home and landscaping design. (the original theme of natural colors shall be maintained.)

I. ARCHITECTURAL REVIEW PROCEDURES

No improvements, alterations, repairs, change of paint colors, excavations, changes in grade or other work which in any way alters the exterior of any lot or common area, or the improvements located thereon, from its natural or improved state existing on the date such property was first conveyed in fee by the developer to an owner or to the association, or such property was first occupied shall be made or done without the prior approval of the ARB. No building, fence, wall, residence or other structure shall be commenced, erected, maintained, improved, altered, made or done on such property without the prior written approval of the Architectural Review Board. (hereafter referred to as the "ARB")

A. REQUESTS FOR REVIEW

1. Any exterior modification of a homeowner's property must be approved by the ARB before work begins.

- 2: Using the ARB application form, a written proposal describing the planned modification must be submitted to the ARB. (Copies of the ARB application form are available at the business office of the Holiday Village East Community Services Association (HVECSA) located in the Clubhouse).

3. The proposal will contain a description of the project, including all dimensions, shape, materials, color and location. A copy of the homeowner's site plan showing the position of the planned modifications must accompany the application. (Photographs or sketches of similarly completed planned modifications will be helpful in the ARB review process.)
4. Each planned modification must be specifically approved, even where the modification conforms to the Declaration of Covenants and Restrictions.
5. ARB meetings are held the first Thursday of each month. (Additional meetings may be held at the chairperson's discretion if the volume of applications is excessive.) The ARB will take action on an application within 30 days of receipt. Applications are not considered received until the ARB meets. The applicant will be informed, in writing, of the action taken by the ARB. In the event the board fails to approve, modify, or disapprove in writing, an application within thirty (30) days after plans and specifications have been submitted to it, in accordance with adopted procedures, approval will be deemed granted. If ARB decides a delay is necessary, the applicant will be notified, in writing, explaining the reason for delay.
6. Should an application be rejected, the ARB will state, in writing, the reasons for disapproval.
7. The applicant may appeal decisions by the ARB to the BOT HVECSA. The BOT can reverse or modify a decision by the ARB with a two-thirds vote.
8. Certain alterations may require additional approval by the County and/or Township. In such cases, all County/Township approvals must be obtained before any work is undertaken. The County/Township will not give approval until the ARB accepts the planned modification.

9. The ARB will not knowingly approve an unsafe modification of a homeowner's property. In approving a homeowner's proposal, the ARB does not assume responsibility for the safety of the planned modification. Property additions or modifications initiated by the homeowner are the homeowner's responsibility. ARB approval of home improvements shall not relieve the homeowner of all liabilities.
10. ARB approval of a planned modification is valid only to the extent that such planned modification complies with the ARB guidelines. It does not relieve the homeowner of responsibility for maintaining the original proper drainage pattern required by the Township and delivered to the homeowner by the Builder. Before undertaking new construction, the homeowner and/or his contractor should ascertain that the new construction will not interfere with the proper drainage of the property. The homeowner assumes all responsibility for correcting any adverse effect on drainage, caused by the new construction and will not hold the Builder, HVECSA, or the ARB responsible.
11. Approval by the Builder or his representative does not constitute approval by the ARB.
12. The ARB will consider the impact of special conditions, such as, handicap or illness, when reviewing an application.

B. COMPLETION OF CONSTRUCTION

1. A planned modification approved by the ARB must commence within six (6) months of the date of approval, and must be substantially completed within twelve (12) months of commencement.
2. If a planned modification is not started within six (6) months of approval, the approval will be considered null and void, and a new ARB application must be filed.

3. A planned modification must be completed as approved. Any deviation must be resubmitted for approval or be considered a violation.
4. Landscaping around patios, decks or sun-rooms must be substantially completed within twelve (12) months of the start of construction.

C. INSPECTION

1. The Management Co. ("MC") shall periodically observe properties for compliance to Exhibit "F" or ARB approvals.
2. The MC will inspect properties undergoing a planned modification and will notify the homeowner, in writing, of any violations.
3. MC inspections are in addition to any Township/County inspections that may be required.
4. Upon satisfactory completion of the scope of work identified in the ARB approved application, MC; on behalf of the ARB; will issue a (signed) "certificate of compliance".

D. RECORD-KEEPING

Copies of all applications submitted to the ARB will be filed according to the street address and cross-indexed by type of modification, along with the written decision of the ARB.

ILARCHITECTURAL GUIDELINES

A. ADDITIONS, CHANGES, MODIFICATIONS AND ALTERATIONS TO HOMES

1. Any addition to, exterior alteration of, modification of, or change to an existing home must have the approval of the ARB with Township/County permits, if applicable, before any work is undertaken. Examples of such projects are patios, decks, porches, fireplaces, sun-rooms, greenhouses, etc.
2. Any addition to, exterior alteration of, modification of or change to an existing home must be compatible with the design character of the home at the time of its original receipt from the Builder.
3. Only exterior materials consistent with the original home or compatible with the architectural design of the community will be approved.
4. In general, only those areas that are painted may be repainted with the original color, and only those areas that are stained may be re-stained. Unpainted or unstained areas, such as brick, shall remain unpainted and unstained.

5. Storm and screen windows or doors must conform with the architectural character (material and style) of the existing home and must be approved by the ARB.

Storm doors shall be plain, white in color, without ornamentation, with either full glass or half-and-half. Installation of storm doors with beveled glass and kickplates are permitted. (LAND USE RESOLUTION RESOLUTION 1-03)

6. Awnings

- a. Awnings, shutters and other means of sunshielding mounted on the home exterior are generally not permitted. A retractable-arm awning may be installed, with ARB approval, at the rear of the home only. The ARB will consider a sidemounted awning where there is no other home within close proximity or if special conditions exist and there is no impact on neighbors. Where a retractable arm, roll-up type awning is approved, no pipes, post, or guy wires are allowed.
- b. Where there is no overhang to hide the retractable arm awning, it must retract into an optional hood supplied by the manufacturer. The hood must be white in color.
- c. The approved retractable-arm awning must be made of vinyl fabric only. The color of the fabric must be solid and match the existing siding as determined by the ARB.
- d. A sample of the fabric and installation plans for the retractable-arm awning must accompany the application before approval can be considered.

- e. It is the responsibility of the homeowner to ensure that the retractable-arm awning is replaced when ripped, worn or shabby.
7. Exterior window guards or screens may not be erected without ARB approval. Jalousie windows or doors, casement windows, window boxes, and the like are not permitted.
 8. Carports are not permitted.
 9. Covered, screened or enclosed porches, sunrooms, greenhouses etc. being attached to the existing home require a Township building permit. It will also be necessary for the ARB to review all dimensions. Siding, roofing, windows, screens, and trim must be the same style and color as that used on the existing home. (See figure I)
 10. Covered, screened, or enclosed porches and roofs; sunrooms, greenhouses; etc. are limited to the rear yard only. In evaluating a design, the ARB may consider the following criteria:
 - a. Impact on Neighbors; Structure should not interfere with the visual enjoyment of the surroundings.
 - b. Topography; Structure should not interfere with the landscaping and natural drainage of the lot or neighboring lots.
 - c. Size; Structure should not dominate the rear yard and may not be wider than the home to which, it is attached.

- d. Architectural style (porches and roofs must be consistent with the design, materials, and architecture of the original home and surrounding community)

11. Both ARB and Township approval is required for "gradelevel" construction. It is recommended that decks be constructed as close to grade as possible in order to minimize the side view of the sub-floor supports. The Township will not accept permit requests without the prior approval of the ARB.

12. SPECIAL PROVISIONS FOR OUTDOOR PATIOS

Railings for outdoor patios are permitted and must conform to ARB Guidelines, except that they may be mounted on top of the patio &/or abutting the patio. (LAND USE RESOLUTION 1-05)

Patios and decks are generally permitted provided they meet the following specifications:

	<u>PATIOS</u>	<u>DECKS</u>
<u>Materials</u>	Concrete, Brick, Flagstone	Pressure treated wood Redwood, Cedar or Plastic
<u>Style</u>	ARB approved	ARB approved
<u>Height</u>	Ground level	Ground level
<u>Finish</u>	Appropriate for Material	Natural stain preferred. Paint Or colored stain Permitted if -color is Same as home

<u>Railing</u>	see figure II,	see figure II
<u>Landscaping</u>	see figure III	see figure III,

13. Rear porches, patios, and decks, including steps, should not extend beyond the sidewalls of the home. In the specific case of those homes which have a side-yard entrance (Pembroke Model), exceptions may be considered.
14. The installation of a porch, deck or patio is considered an improvement to the property and is subject to the Declaration of Covenants and Restrictions regarding property maintenance.
15. Coverings for the front steps will be considered if the covering is matching brick for homes with brick trim exteriors, matching tile for homes with stucco exteriors, patterned concrete or outdoor carpeting consistent with the color of the front door. A sample of the material and color to be used must be included with the ARB application. Front step coverings must be installed with concrete or glue and properly maintained after installation. No covering shall extend beyond the front step.
16. Air conditioners are permitted in loft of single family detached homes and shall be installed through the wall, in the rear of the house. (LAND USE.RESOLUTION 1-

B. FIREPLACES

1. Any fireplace addition must have the approval of the ARB before construction begins.
2. Generally, fireplace additions must be kept within architectural character of the home to be considered for approval.
3. Before requesting Township building permits, conditional ARB approval is required.
4. Prefabricated metal chimneys or vents attached to the roof, generally used with freestanding or zero-clearance fireplaces, must be approved before installation.

C. OUTSTRUCTURES

1. Property perimeter fences are not permitted. (NOTE: the only fence in the community, at 654 Cascade Drive South, was in place prior to the adoption of these guidelines).
2. Sheds, garden houses, and gazebos are not permitted.

Permanent swimming pools, either above-ground or inground, are not permitted. Temporary small "kiddie" pools are permitted in rear yards only and must be emptied and removed daily.
4. Outdoor animal enclosures, runs, houses or pens are not permitted.

5. A replacement mailbox post shall be 4"x4" or 6"x6" in size. Height shall match existing post. Any ornamental mailbox must be mounted on such post. Replacement posts shall be wood, stained or of synthetic material having a white finish. (LAND USE RESOLUTION 1

D. MISCELLANEOUS ADDITIONS

1. Exposed exterior antennas are permitted for single-family detached (SFD) homes provided that the installation conforms to the FCC and ARB guidelines as follows:
 - a. Size; No larger than one (1) meter (39.37 inches) in diameter or across largest diagonal.
 - b. Location; Depending on the ability to permit a direct view of the transmitter. First preference, on the ground in the rear yard planting area next to the house or patio or if obstructed view, attached to the rear of the home. Then if obstructed view persists, in the most inconspicuous position possible.
 - c. Color; When attached to the home, color must match the color at the point of attachment; i.e. siding or roof.

The ARB application must reflect the location in the rear yard planting area or the location on the home with an explanation as to why the installation requires home attachment.

2. Application for permanent barbecue grills must be approved prior to installation.

3. A trash can enclosure may be created using evergreen shrubs alongside the garage. The ARB application must conform to the following specifications: the line of planting may not exceed three (3) feet parallel to the front of the garage and must be a minimum of five (5) feet, but not more than ten (10) feet toward the rear of the home and parallel to the side of the garage. (See figure IV, page 18)

The evergreen shrubs must be sufficiently dense and closely planted so that it conceals from view the trash cans stored behind it. The evergreen shrubs should be of the variety that grow upright rather than spread and must be at least three (3) feet tall at the time of planting. Periodic pruning will be necessary to maintain a maximum of six (6) feet in height.

The interior of the newly created enclosure may be paved with concrete, paving stones, bricks, crushed stones, or flagstones.

D. LANDSCAPING

1. Landscaping is generally encouraged and requires ARB application, approval and must be compatible with the overall community landscaping plan.
2. The planting area in front of each residence must not be enlarged beyond the original dimensions established by the Builder at the time of settlement.

3. Planting areas are permitted along the rear and sidewalls of the home and are required around decks, patios or sunrooms. Planting area may have curves or indentations so long as the planting area does not extend more than three (3) feet from the home and does not interfere with the lawn cutting. (When an air conditioning unit extends outside the three (3) feet maximum width, an additional eight (8) inch extension is permitted. Special situations will be considered for oversized lots, corner lots, or lots that back up to a wooded area.
4. Landscape borders (edging) around the planting areas shall not exceed ten (10) inches in height above lawn level and must be within the three (3) feet maximum width of the planting area.
5. State law requires that trees or shrubs that restrict sight lines to vehicular traffic shall be cut back or removed. HVECSA requires that trees or shrubs which grow over the sidewalk must be kept trimmed to allow unobstructed passage by persons using the sidewalk.
6. Trees
 - a. Trees or shrubs may not be planted in drainage swales. Trees, other than the tree(s) planted by the Builder, are not permitted in the front of the home.
 - b. Trees must be at least six (6) feet in height at the time of planting.

- c. Applications for approval of landscaping plans must identify specific plantings which will be used. Application for approval of shade trees, ornamental trees or evergreen trees must identify specific trees that will be used specifying type, name, height at maturity and spacing between the new and existing trees. In general, large trees will not be allowed closer than twenty-five (25) feet on center from existing trees either on homeowners property or adjoining properties and no closer than twelve (12) feet from property line. Smaller trees will be allowed somewhat closer together. No planting shall be started without ARB approval.
 - d. Certain types of trees, such as weeping willows, silver maples and mimosas, are not allowed due to obstruction of lawn maintenance.
 - e. Shrub/tree protection will be allowed from November 1 through March 31 with a maximum height of four (4) feet, burlap only.
 - f. Removal of builder installed trees may be accomplished ggly with an ARB form submission and approval. The removed tree must be replaced with an approved alternative tree in compliance with township and Holiday Village East limitations. (LAND USE RESOLUTION 1-05~

Extenuating circumstances for its replacement may be appealed to the ARB. (LAND USE RESOLUTION 10S
7. Door ornaments cannot be larger than twenty-four (24) inches in diameter. No ornaments are permitted on the roof, garage door or front of the home.

8. Natural mulches and landscaping stones are the only items allowed within planting areas. Landscaping stones are permitted with ARB approval. Stones are permitted only in planting areas.
9. Retaining walls, mounds, landscaping structures and change of grade or drainage are discouraged. The ARB will consider applications for such changes when special conditions or situations arise.
10. Exterior lighting requires ARB approval. Such lighting shall not be directed in a manner that creates an annoyance to neighbors. When used, garden accent lights must be low voltage and not exceed ten (10) inches in height.
11. Lawn sprinkler systems are permitted and require Township approval. Such systems shall not interfere with lawn cutting.

12. DRIVEWAY EXPANSION

1. **Single Family detached (S.F.D.) house, single car driveway may be widened to eleven feet (11).**
2. **Single Family detached (S.F.D.) house, two-car driveway may be widened to nineteen feet (19).**
3.
 - (a) **Driveway widening must be concrete, matching existing driveway, and must extend the full length of the existing driveway.**
 - (b) **Widenings must not extend beyond the sidewalls of the home, and may be expanded on one or both sides of the existing driveway.**
 - (c) **All driveway additions, expansions, must receive ARB approval before construction begins. (LAND USE RESOLUTION 01-06)**

13. The planting of evergreen shrubs around electrical utility and cable TV boxes found on some front lawns is permitted, so long as the shrubbery is maintained at a height no greater than the utility box it is meant to conceal and provided it does not interfere with access to the box by utility service people.
14. Common ground buffer areas belong to the entire community and may not be landscaped or used in any way for a homeowner's personal use.
15. Vegetable gardens are not permitted.

III. SPECIAL PROVISIONS FOR PATIO HOMES A

DRIVEWAY EXTENSION

The grass strip separating the driveways of attached homes must remain as originally installed by the Builder. Driveways may be enlarged to a maximum of twenty-four (24) inches on the walk side of the home. Any addition to the driveway must be concrete and run the full length of the existing driveway.

B. PATIO ENLARGEMENT

The Builder-installed concrete patio in the rear of the home may be enlarged (with original brick or concrete) to a maximum of eight (8) feet from the rear-most wall of the home and may run the length of rear of the home. The ARB application must include the written consent and signature(s) of the adjacent neighbor(s).

C. PATIO RAILINGS

Patio railings are permitted and must conform to ARB guidelines. The ARB application must include the written consent and signature(s) of the adjacent neighbor(s).

Patio railings are permitted and must conform to ARB guidelines, except that they may be mounted on top of the patio &/or abutting the patio. (LAND USE RESOLUTION 1-05)

D. PATIO LANDSCAPING

Landscaping (shrubbery) around the rear patio is optional. When landscaping is requested, it must conform to ARB guidelines as defined herein.

E. ARB APPLICATION REQUIREMENT

An ARB application must include a plot (property) survey indicating the planned modification, drawn to scale.

F. PATIO ROOF

A roof extending over the rear-yard patio is not permitted. G.

EXTERIOR CHANGES OR ADDITIONS

Other exterior (outside) changes or additions, not previously mentioned, will require ARB approval and must conform to **"Exhibit "F", ARCHITECTURAL GUIDELINES.**

H. LANDSCAPE IMPROVEMENTS

All landscape (outside) improvements must have ARB approval except for changes or additions to existing planting areas.

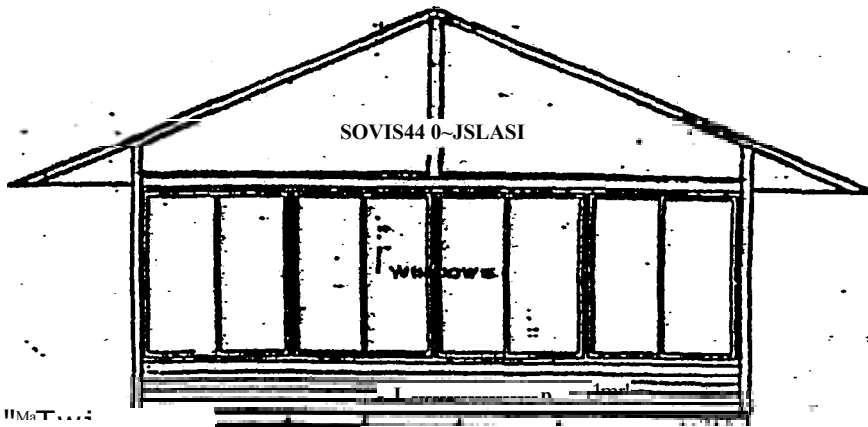
I. STREET ADDRESS NUMBERS

New street address numbers may be colored, reflective, and attached in the same location as the original numbers installed by the Builder. A second set of street address numbers may be added, centered over the garage, and black in color.

J. AWNINGS

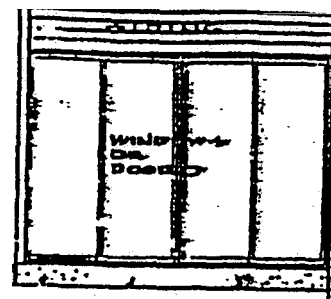
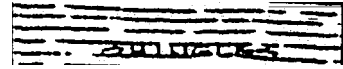
Awnings must conform to the specifications as defined for single family detached homes and must be mounted to the rear walls only.

FIGURE I
TYPICAL PATIO ENCLOSURE

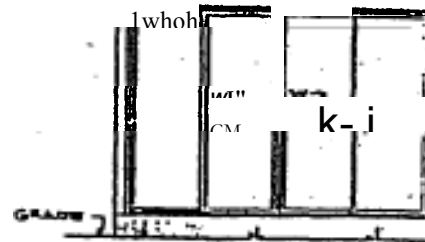


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- NOTES**
- 1. L S09 to match existing
 - 2. Singles to match existing
 - i Window and door frames - white
 - C ADOERne to Fhaw existing



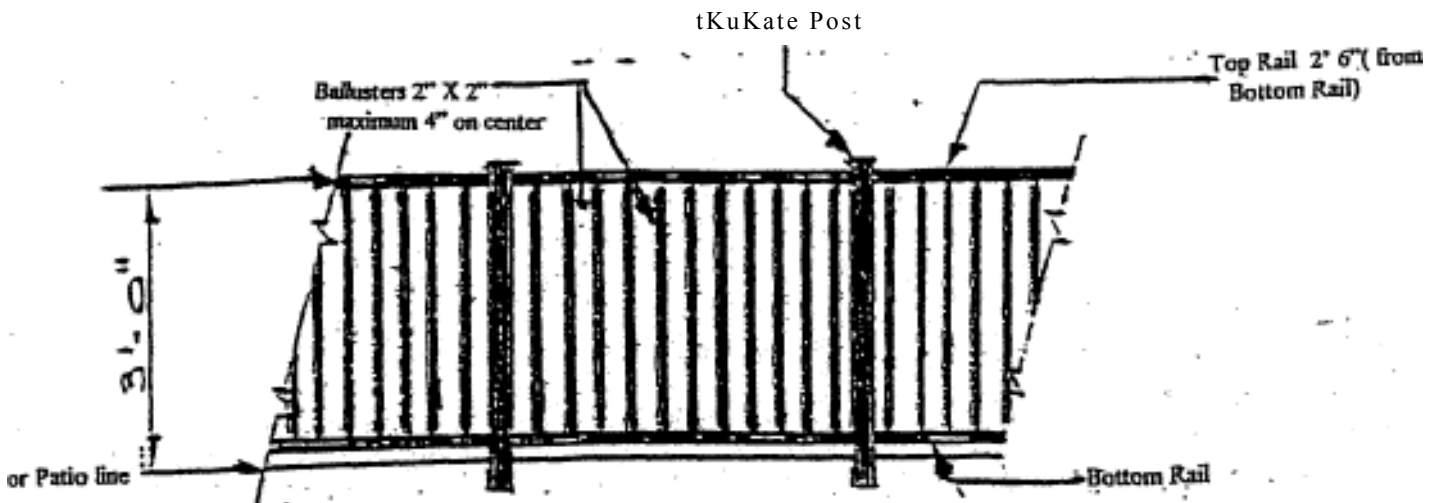
SIDE ELEVATION



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FIGURE II

TYPICAL RAILING
(patio or deck)

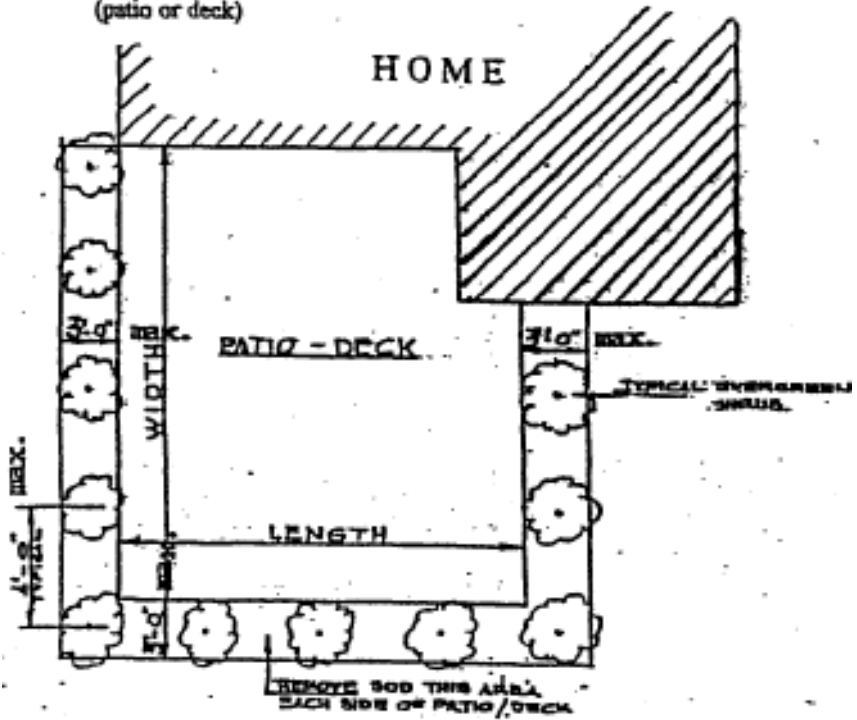


NOTES:

- 1. Materials may be wood, white metal or white plastic
- 2. Size of and spacmg between balusters must conform to diagram, figurell
- 3. Minor variations ht designs may be cconsshkermed

FIGURE III

TYPICAL LANDSCAPING
(patio or deck)



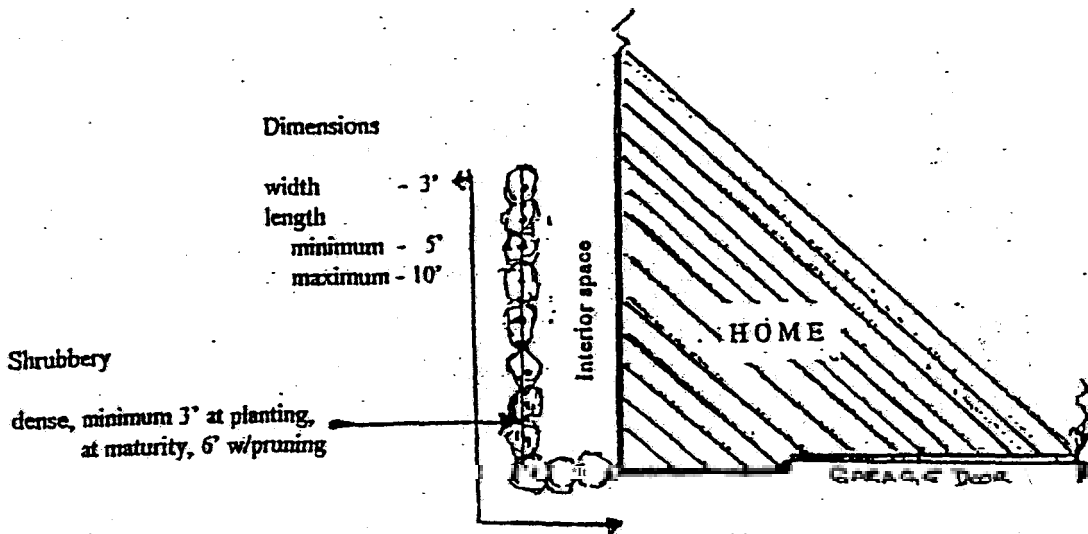
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MAY-OWNOOM

TAW, TX

FIGURE IV

TYPICAL TRASH CAN ENCLOSURE



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stone. amubed awe.